



Wireless Telecommunications Tower Site Plan Checklist
Site Plan Preparation And Approval Procedure

1. Applicants shall contact the planning department to schedule a preapplication conference. Applicants will be advised of the details of the review procedures and the number of blue line prints of the plan to be submitted to the planning department. It shall be the responsibility of the applicant to become familiar with the regulations, policies, and procedures of the city. At the preapplication conference, the applicant shall designate one (1) contact person to work with the planning department for the duration of the project. **THIS SHALL BE THE PERSON RESPONSIBLE FOR THE QUALITY AND ACCURACY OF THE PLANS.**
2. Purchase a copy of the Franklin Zoning Ordinance and Franklin Design Standards from the Franklin Planning Department and review both documents carefully.
3. Contact the Franklin Planning Department: PO Box 305 Franklin, TN 37065-0305 Telephone: 615-791-3212
 Jaime Groce 615-550-6737 Daria Bagsby (Bonds) 615-550-6736

4. The essential elements of a complete site plan submittal for a wireless telecommunications tower are as follows:

- **Inventory of its existing towers and antennas;**
- **Wireless telecommunications tower narrative response;**
- **Site layout;**
- **Grading/Drainage plan;**
- **Utility plan;**
- **Grid Photometric Lighting Plan ;**
- **Landscaping Plan;**
- **Architectural Elevations;**
- **Color Elevation/Rendering and Material/Color Samples; and**
- **Miscellaneous Details.**

To aid the professional(s) preparing the plan, the following symbols are used throughout this checklist to identify the plan sheet on which each checklist item shall be represented.	
Site Layout.....C1	Landscaping Plan.....L1
Grading Plan.....C2	Site Lighting.....E1
Detail Sheet.....C3	Architectural Elevations.....A1
Utility Plan.....C4	Miscellaneous Information.....Misc

Submittals that do not include these plans, unless otherwise expressly directed by the planning department, will not be accepted for review. Plans that are not sealed, signed and dated as required by state law and by city ordinance shall not be accepted for review.

5. Specific information for individual zoning districts is in Chapter 6 of the zoning ordinance. The site plan shall be drawn on reproducible material, suitable for

making blue-line prints, and on one (1) or more sheets as dictated by the types of information required.

6. The applicant shall notify, by mail, property owners located within five hundred (500) feet of the tower site. Such notification shall be in accordance with Section 3.4 of the zoning ordinance.

SPECIAL REQUIREMENTS FOR TOWERS

7. An applicant for a tower and/or an antenna shall provide an inventory of its existing towers, antennas, or sites approved for towers or antennas that are within the city, and towers outside of the city which serve areas within the city, as well as within the coverage area of the proposed tower or antenna, whether within the city or outside its jurisdiction, including specific information about the type, design, height, and location of each tower. The planning department may share this information, provided that the planning department is not, by sharing such information, in any way representing or warranting that these sites are available or suitable for tower or antenna construction.
8. All wireless telecommunications tower site plans shall provide the following charts on the first sheet of the site plan exactly as shown, with the charts completed with the necessary information: **(C-1)**

Required Separation Distances Between Towers and Off-Site Uses		
Off-site/Designated Area	Required Separation Distance	Separation Distance Provided
Single family residential dwelling units ¹ , or vacant single family residential zoned land that is either platted, has a preliminary subdivision plat, conservation design plan or site plan approval that has not expired.	200 feet or 300 percent of the tower ² height, whichever is greater.	
Existing multifamily residential units	200 feet or 200 percent of the tower ² height, whichever is greater.	
Nonresidentially zoned land or nonresidential uses	None; only setbacks apply.	

¹Includes modular homes and mobile homes used for living purposes.

²Separation measured from base of tower to closest building setback line, irrespective of municipal and county jurisdictional boundaries.

Required Separation ³ Between Existing Towers by Type		
Proposed Tower Type:	<i>Either Lattice, Guyed, Monopole (less than 75 feet in height), or Monopole (75 feet in height or greater)</i>	
Existing Tower Type	Required Separation	Separation Distance Provided ⁴
Lattice		
Guyed		
Monopole (less than 75 feet in height)		
Monopole (75 feet in height or greater)		

³Consult Tables 10 and 11 of the Franklin Zoning Ordinance.

⁴Separation distance from nearest tower of the specified type, , irrespective of municipal and county jurisdictional boundaries.

9. The plans for a wireless telecommunications tower shall clearly show: **(C-1)**
 - (a) The location of the proposed tower and any other structures, on-site land uses and zoning;
 - (b) The collapse radius of the proposed tower, which shall be certified by a professional engineer.
 - (b) adjacent land uses and zoning (including when adjacent to other municipalities or jurisdictions);
 - (c) long-range plan classification of the site and all properties within applicable separation distances;
 - (d) adjacent roadways;
 - (e) proposed means of access; and
 - (f) proposed parking areas,
10. Site plan applications for a wireless telecommunications tower shall include a narrative that responds to each of the following:
 - (a) Evidence submitted to demonstrate that no existing tower, structure, or alternative technology can accommodate the applicant's proposed antenna due to one or more of the reasons stated in Section 4.11(3) of the zoning ordinance.
 - (b) The separation distance from other towers described in the inventory of existing sites, and the types of construction and the owners/operators of existing towers.
 - (c) The method of camouflage and illumination.
 - (d) A description of compliance with Section 4.11.2, General Requirements, and applicable federal, state, or local laws.
 - (e) A notarized statement by the applicant as to whether construction of the tower will accommodate colocation of additional antennas for future users.
 - (f) A description of the suitability of the use of existing towers, other structures, or alternative technology not requiring the use of towers or structures to provide the services to be provided through the use of the proposed new tower.

- (g) A description of the feasible locations of future towers or antennas within the city, based upon existing engineering, geographical, physical, or technological limitations.
- (h) A legal description of the parent tract and leased parcel (if applicable), shall be provided.

BASIC INFORMATION

11. All **nonresidential** site plans shall provide the chart shown at the right on the first of the site plan exactly as shown.

(C-1)

12. Key map drawn to a scale of one (1) inch equals one thousand (1,000) feet, which shall include streets and corporate limit lines within a one-half (0.5) mile radius, that identifies the boundaries of the site. **(C-1)**

13. Names, addresses and telephone numbers of the owner and the applicant. Where these are designated as a partnership, corporation or other business venture, then the names and addresses of all individual parties, officers, directors and/or beneficial owners holding more than a five-(5) percent interest in the project shall be identified.

Consult Item 1 for more information about the role of the "applicant"

(C-1)

14. North point. **(C-1, C-2, C-3, L-1, E-1)**

15. Drawn, using an engineer's scale, to a scale of not less than one (1) inch equals fifty (50) feet, with the scale indicated on the site plan. Any other scale shall be approved by the planning department. **(C-1, C-2, C-3, L-1, E-1)**

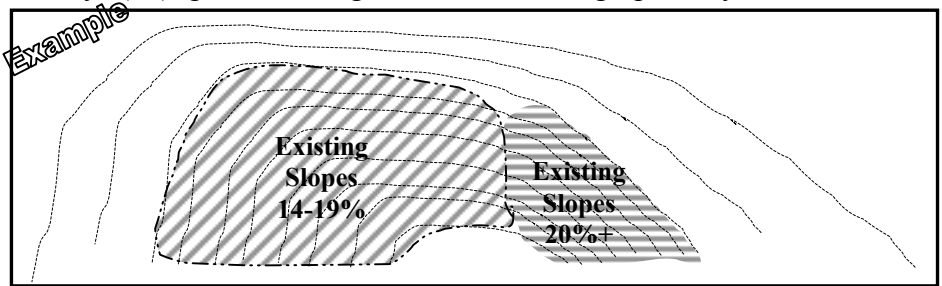
16. Names, addresses, telephone numbers and seals of all professional consultants participating in the development. **(C1, C-2, C-3, L-1, E-1, A-1)**

<u>SITE DATA</u>	
SUBDIVISION/DEVELOPMENT:	
LOT NUMBER:	
ADDRESS:	
CITY:	
COUNTY:	
STATE:	
CIVIL DISTRICT:	
EXISTING ZONING AND AREA DESIGNATION:	<i>Interstate Commercial (IC) (Suburban)</i>
ACREAGE OF SITE:	
SQUARE FOOTAGE OF SITE:	
MINIMUM REQUIRED SETBACK LINES for BUILDINGS:	
Yard fronting on any street:	
Side yard:	
Rear yard:	
FALL RADIUS OF TOWER:	<i>must be contained on property</i>
OWNER:	
Address:	
Phone No.:	
Fax No.:	
Contact Name:	
APPLICANT:	
Address:	
Phone No.:	
Fax No.:	
E-mail address:	
Contact Name:	
BUILDING SQUARE FOOTAGE: (if applicable)	
BUILDING HEIGHT: (if applicable)	
TOWER HEIGHT:	
TOWER TYPE:	<i>Either Lattice, Guyed, Monopole (less than 75 feet in height), or Monopole (75 feet in height or greater)</i>

THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
Revised 8/20/04

17. The following note shall be provided on the first sheet of all site plans **(C-1)**:
18. The location of dumpster pads, dumpster pad details, screen walls, and screen gates, in conformance with solid waste department standards. **(C-1, C-3, A-1)**
19. Floodway (F-W) and Floodway Fringe (F-F) District boundaries, with elevations referenced to, and showing the exact location of, the nearest benchmark. Show and label any required buffers for the Floodway or Floodway Fringe. **(C-1, C-2)**
20. Existing and proposed land contours showing vertical intervals no greater than two (2) feet. **(C-2)**

21. Existing natural slopes ranging between fourteen (14) through nineteen (19) percent, and slopes of twenty (20) percent or greater, shall be graphically indicated and labeled on the grading plan: Development on natural slopes of twenty (20) percent or greater is prohibited per Section 4.9 of the Zoning Ordinance. **(C-2)**



22. Adjoining property owners. **(C-1)**
23. The length of the boundaries of the site measured to the nearest one-tenth (0.1) foot. **(C-1, L-1)**

When the site is in a subdivision, these figures shall match the final

24. The value of all true bearings and angles dimensioned in degrees and minutes. **(C-1)**

When the site is in a subdivision, these figures shall match the final

25. Locations, square footages and exterior dimensions, measured from outside wall to outside wall, of all existing and proposed buildings and structures. Label the square footage of each building on the site layout. **(C-1)**

26. A sheet showing all proposed improvements (buildings, paving, and so forth) overlaid on the existing topography indicating what natural features will be destroyed or disrupted (i.e. trees, buildings, fences, walls). **(C-2)**

27. Easements with dimensions, and designated as to type (examples: public utilities and drainage easement; public access and sidewalk easement, and so forth). **(C-1, C-2, L-1)**

28. All site plans shall contain the following note **(C-4)**:

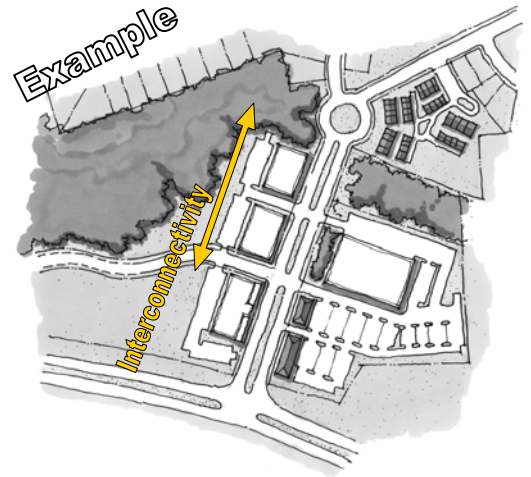
Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, such as cable television, electrical (excluding transformers), gas, sewer, telephone, and water lines shall be placed underground. Light Industrial (LI) and Heavy Industrial (HI) Districts shall be permitted to have their off-site lines overhead.

29. Existing and proposed locations, types and sizes of the following: **(C-1 or C-4)**

- (a) Water lines.
 - (b) Fire hydrants, dimensioned to the nearest corner of the lot.
 - (c) Sanitary sewers.
 - (d) Storm sewers.
 - (e) Culverts.
 - (f) Street improvements.
 - (g) Electric Lines.
 - (h) Repurified (reuse) water system.
 - (i) Any other utilities or services affected by the site.
30. Drainage plan, if recommended by the city engineer. **(C-2, Misc)**
- (a) Existing and proposed locations, types and sizes of drainage structures. Any special items, such as retention facilities, shall be included, along with calculations. A description of operation and maintenance procedures to control stormwater runoff shall be included in the drainage plan.
 - (b) Drainage calculations shall be submitted that will demonstrate that the development will be designed, operated and maintained so that the rate of stormwater runoff after development will be no greater than that which existed prior to development of the site.
 - (c) A statement by the applicant shall be submitted as to how the prevention of downstream siltation during construction will be assured, pursuant to Section 4.2 of the zoning ordinance.
 - (d) The drainage plan shall be submitted to the city engineer for his comments, which shall be included as part of the site plan.
- and drainage easement; public access and sidewalk easement, and so forth). **(C-1, C-2, L-1)**
23. All site plans shall contain the following note **(C-4)**:
- Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, such as cable television, electrical (excluding transformers), gas, sewer, telephone, and water lines shall be placed underground. Light Industrial (LI) and Heavy Industrial (HI) Districts shall be permitted to have their off-site lines overhead.
24. Existing and proposed locations, types and sizes of the following: **(C-1 or C-4)**

- (a) Water lines.
 - (b) Fire hydrants, dimensioned to the nearest corner of the lot.
 - (c) Sanitary sewers.
 - (d) Storm sewers.
 - (e) Culverts.
 - (f) Street improvements.
 - (g) Electric Lines.
 - (h) Repurified (reuse) water system.
 - (i) Any other utilities or services affected by the site.
25. Drainage plan, if recommended by the city engineer. **(C-2, Misc)**
- (a) Existing and proposed locations, types and sizes of drainage structures. Any special items, such as retention facilities, shall be included, along with calculations. A description of operation and maintenance procedures to control stormwater runoff shall be included in the drainage plan.
 - (b) Drainage calculations shall be submitted that will demonstrate that the development will be designed, operated and maintained so that the rate of stormwater runoff after development will be no greater than that which existed prior to development of the site.
 - (c) A statement by the applicant shall be submitted as to how the prevention of downstream siltation during construction will be assured, pursuant to Section 4.2 of the zoning ordinance.
 - (d) The drainage plan shall be submitted to the city engineer for his comments, which shall be included as part of the site plan.
26. Parking layout and traffic control plan in accordance with Sections 8.1 and 8.6 of the zoning ordinance. The plan shall include the locations, arrangements and dimensions of the following:
- (a) Vehicle entrances, exits and drives. **(C-1, C-2, L-1, E-1)**
 - (b) Handicapped pedestrian entrances, exits, walks and ramps. **(C-1)**
 - (c) Vehicle parking spaces. **(C-1, C-2, L-1, E-1)**

- (d) Widths of aisles, which shall be designed according to the demands of the site and in accordance with commonly accepted parking layout design standards. **(C-1)**
- (e) Location of truck loading and unloading spaces and docks. **(C-1)**
- (f) Proposed traffic control devices, where necessary to promote the safe and efficient movement of traffic, in conformance with the Manual on Uniform Traffic Control Devices. **(C-1)**
- (g) Sidewalk improvements, both public and private, with an emphasis on interconnectivity between contiguous sites and public sidewalk systems. **(C-1, C-2, L-1)**
- (h) Proposed connections to contiguous property, with an emphasis on interconnectivity between existing and proposed parking areas and internal drives. **(C-1, C-2, E-1)**



- 27. When the city engineer requests a traffic study, then twelve (12) copies shall be submitted to the Franklin Planning Department no later than the second submittal date. **(Misc)**
- 28. Construction drawings, along with requested bond amounts, for the public improvements (water, sewer, streets, drainage, and so forth) shall be submitted to: **(Misc)**

David Parker, City Engineer
 PO Box 305
 Franklin, TN 37065-0305

Submit these drawing directly to the Engineering Department. His phone number is 615-791-3218.

- 29. An applicant shall develop a Stormwater Management Plan. Contact the Stormwater Coordinator at 615-791-3218 for information, or view the standards at <http://www.franklin-gov.com/pdf/bmpplan.pdf>. The applicant shall demonstrate that the project meets the standards set forth in the city's **Stormwater Ordinance** for water quantity and quality, buffer, floodplain, **BMP Manual** for structural and non structural BMPs especially the Treatment Train concept: <http://www.franklin-gov.com/pdf/bmp/intro/Section201-Introduction.pdf>; special watershed or area specific requirements and all other policies that apply. We strongly encourage developing the site with:

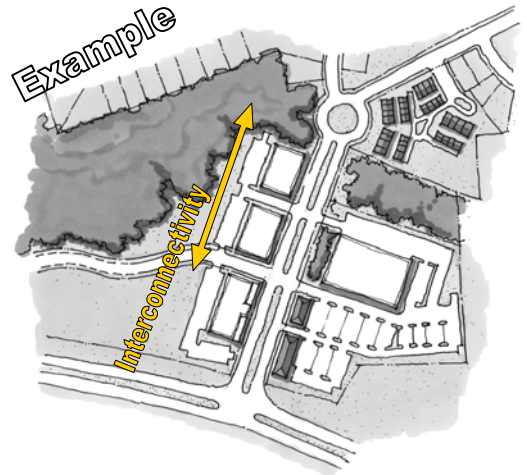
- (a) Better Site Design: http://www.cwp.org/45-Intro_to_Better_Site_Design.pdf;
- (b) Low Impact Development: <http://www.lowimpactdevelopment.org>
- (c) Georgia Stormwater Manual's Better Site Design:

<http://www.georgiastormwater.com/vol2/1-4.pdf>

- (d) Conservation Design For Stormwater Management:
http://www.psat.wa.gov/Programs/LID/lid_cd/pdf_docs/DEL_MAN.PDF

30. Parking layout and traffic control plan in accordance with Sections 8.1 and 8.6 of the zoning ordinance. The plan shall include the locations, arrangements and dimensions of the following:

- (a) Vehicle entrances, exits and drives. **(C-1, C-2, L-1, E-1)**
- (b) Handicapped pedestrian entrances, exits, walks and ramps. **(C-1)**
- (c) Vehicle parking spaces. **(C-1, C-2, L-1, E-1)**
- (d) Widths of aisles, which shall be designed according to the demands of the site and in accordance with commonly accepted parking layout design standards. **(C-1)**
- (e) Location of truck loading and unloading spaces and docks. **(C-1)**
- (f) Proposed traffic control devices, where necessary to promote the safe and efficient movement of traffic, in conformance with the Manual on Uniform Traffic Control Devices. **(C-1)**
- (g) Sidewalk improvements, both public and private, with an emphasis on interconnectivity between contiguous sites and public sidewalk systems. **(C-1, C-2, L-1)**
- (h) Proposed connections to contiguous property, with an emphasis on interconnectivity between existing and proposed parking areas and internal drives. **(C-1, C-2, E-1)**



31. Construction drawings, along with requested bond amounts, for the public improvements (water, sewer, streets, drainage, and so forth) shall be submitted to: **(Misc)**

David Parker, City Engineer
PO Box 305
Franklin, TN 37065-0305

Submit these drawing directly to the Engineering Department. His phone number is 615-791-3218.

LANDSCAPING PLAN

32. The required information and format for landscaping plans is addressed through a separate document titled the “Nonresidential Landscape Checklist”, which is typically distributed to the public attached to this document; however, if it is missing, please contact the planning department at (615) 791-3212 to request a

copy. Please consult that checklist for detailed information needed to properly prepare a landscaping plan.

EXISTING TREES

33. Exact locations of existing and proposed landscaping materials. Indicate existing landscaping materials to be removed or relocated. In areas where existing trees will be relocated or destroyed, all trees four (4) inches in caliper, measured four and one-half (4.5) feet above natural grade, shall be inventoried and plotted on the site plan. The inventory shall identify the caliper size, species, if it is to remain or to be removed, the tree’s health condition (poor, fair, or good), and contact information for the professional who determined the tree’s health. Contact the planning department for more information about determining a tree’s condition **(L-1, C-2)**

Example

John Doe, ISA Certified Arborist
 1234 Main Street
 Franklin, TN 37064
 Phone: (615) 555-5555
 Fax: (615) 444-4444
john.doe@emailaddress

Existing Trees to be Removed (Unhealthy):			
Key	Size	Species	Condition
3	12"	Hackberry	Poor
4	10"	Maple	Fair
Total Unhealthy Trees to be Removed=			2
Total Caliper Inches of Unhealthy Trees to be removed=			22 inches

Existing Trees to be Removed (Healthy):			
Key	Size	Species	Condition
1	22"	Hackberry	Good
2	20"	Hackberry	Good
Total Healthy Trees to be Removed=			2
Total Caliper Inches of Healthy Trees to be removed=			42 inches

Existing Trees to Remain:			
Key	Size	Species	Condition
5	20"	Maple	Good
Total Healthy Trees to be Remain=			1
Total Caliper Inches of Healthy Trees to Remain=			20 inches

Note:
 All tree protection shall be in place prior to the issuance of a grading permit.

34. Tree-protection fencing shall be provided whenever existing healthy trees, whether on-site or off-site, are to be preserved. When tree-protection fencing is required, the following information shall be provided:

(a) A tree protection fence detail shall be provided on the grading plan and the landscaping plan. **(C-2, L-1)**

Example

TREE-PROTECTION FENCING SHALL EXTEND AT LEAST TO THE DRIPLINE OF THE TREE.

(b) The installation location of the tree-protection fencing shall be shown on the grading plan and the landscaping plan. **(C-2, L-1)**

(c) The following note shall be added to the grading plan **(C-2)**:

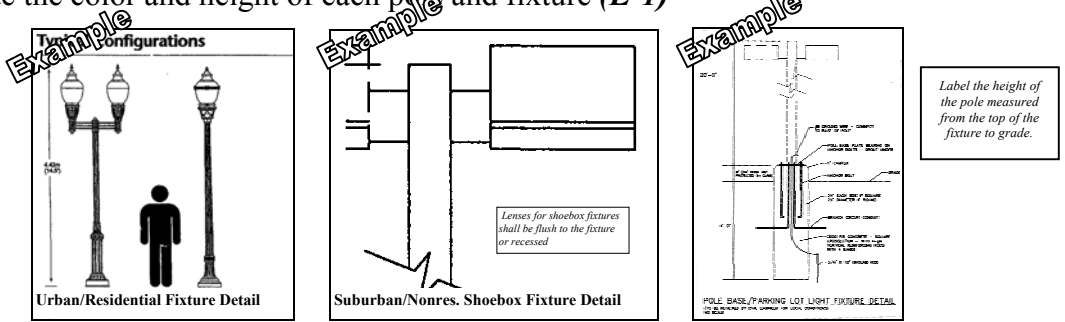
All tree-protection fencing shall be in place prior to the issuance of a grading permit and shall be maintained in good working order until all construction activity is completed. Any required erosion control measures shall be placed outside of any tree protection fencing.

LIGHTING PLAN

35. If the Wireless Telecommunications Tower, associated parking area, or associated structures are to be externally illuminated, a lighting plan in accordance with Chapter 8 of the zoning ordinance shall be provided. The plan shall be drawn on a separate sheet for nonresidential site plans.

(a) Locations of proposed lighting. **(E-1)(L-1)**

- (b) Detail drawings of **poles** and **fixtures**. The detail or fixture schedule shall denote the color and height of each pole and fixture **(E-1)**



- (c) **Grid photometric plan**, showing maintained horizontal illuminance at grade. This grid shall extend until 0.0 foot candle is maintained. **(E-1)**

- (d) Intensity in footcandles. See Table 14 minimum light levels. **(E-1)**

Do not exceed 1.0 footcandle at property lines.

- (e) The location of existing and proposed light poles shall also be shown on the landscaping plan. **(L-1)**

- (f) Provide the following chart on each sheet of the lighting plan: **(E-1)**

SITE LIGHTING DATA	
Area Designation:	<i>Urban or Suburban</i>
Land Use:	<i>Residential or Nonresidential</i>
Zoning District:	<i>Interstate Commercial (IC)</i>
Height of Proposed/Existing Building:	
Pole Height:	
Pole/Fixture Color:	
Color of Light:	<i>White (Only color permitted by ordinance)</i>

THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

ARCHITECTURAL ELEVATIONS/DETAILS

36. Elevation drawings of the Wireless Telecommunications Tower and any proposed structures shall be provided and shall meet the following criteria:

- (a) Elevations shall be provided for all sides of the building(s) **(A-1)**
- (b) To complete the review, provide color renderings/elevations and material samples, unless otherwise directed by the planning staff. **(Misc)**
- (c) Each sheet of the elevation drawings shall have a chart that identifies the following:

1. The **TYPES** of all exterior building materials to be used. **(A-1)**

FINISH LEGEND			
MARK	MATERIAL	MANUFACTURER	COLOR
①	FIELD BRICK - RUNNING BOND	BORAL BIRKENSTOFF	ORLEANS W/M
②	ACCENT BRICK - RECESSED HEADER	BORAL BIRKENSTOFF	ORLEANS W/M
③	FABRIC LINING	SUNBRELLA OR EQUAL	BLACK
④	CULTURED STONE	STONE PRODUCTS INC. OR EQUAL	CHARCOONWAY DRYSTACK
⑤	PRECAST CONC. WATER TABLE	TO BE SELECTED	GREY
⑥	ALUMINUM STOREFRONT	KAWNEER OR EQUAL	DARK BRONZE
⑦	PREFINISHED METAL	TO BE SELECTED	DARK BRONZE
⑧	PREFINISHED METAL	TO BE SELECTED	MATCH E.I.F.S. CORNICE
⑨	E.I.F.S. - FIELD	STD CORP. OR EQUAL	SMOKED PUTTY
⑩	E.I.F.S. - CORNICE	STD CORP. OR EQUAL	SMOKED PUTTY
⑪	PAINT	SHERWIN WILLIAMS OR EQUAL	MATCH FIELD BRICK
⑫	PAINT	SHERWIN WILLIAMS OR EQUAL	DARK BRONZE
⑬	SPLIT-FACE CMU - STAIN	TO BE SELECTED	MATCH FIELD BRICK

2. The COLOR of all exterior building materials to be used. (A-1)

- (d) The following note shall be provided on each sheet of the elevation(s):
(A-1)

These elevations have been designed to meet the requirements of the City of Franklin's architectural design standards and the approval of the planning commission. Changes shall not be made to the approved elevations unless approved by either the codes director or the planning commission.
Franklin Codes Department (615) 794-7012
Franklin Planning Department (615) 791-3212

- (e) Details shall be provided for any proposed fence, with the type and color of fencing labeled.

ADDITIONAL REQUIREMENTS

37. The applicant shall provide any additional information as determined by the planning department that will be necessary to obtain a review by the planning commission or planning department.
38. Approval of a site plan shall cease to be effective one (1) year after the date of approval if start of construction has not begun, unless the site plan is re-approved.
39. Submit a nonrefundable site plan review fee at the time the site plan is submitted to the planning department. **NO SITE PLAN WILL BE REVIEWED UNTIL THE FEE IS PAID.**

- (a) Fee: **\$1,000.00.**

One check only per submittal. Each plat and site plan fee must be paid separately.

- (b) One single check made payable to: City of Franklin.
- (c) Make check for: Site Plan Review Fee and list the name of the project.

Our finance department and our auditors require that a single check be submitted for the review fee, not separate checks to equal the total amount.

40. Submit the site plan to the planning department by **Tuesday, 5:00 P.M., thirty eight (38) days (forty five (45) days for the January meeting)** prior to the planning commission meeting at which the item will be heard.

41. A total of twenty-four (24) blue or black line prints shall be submitted to the Franklin Planning Department. Of these prints, nine (9) sets shall be full size and fifteen (15) sets shall be reduced, such as 11"x17". **PRIOR TO SUBMITTAL, THE APPLICANT SHALL FOLD EACH PRINT TO A SIZE NOT GREATER THAN 11"x 14", WITH THE TITLE BLOCK ON THE OUTSIDE OF EACH PRINT.**

Plans will not be accepted unless they are in this format.

42. The site plan will be checked for deficiencies by the planning department, the city engineer and the department superintendents.
43. The applicant will be notified if corrections to the site plan are necessary. It is the responsibility of the applicant to contact the city engineer for corrections concerning water, sewer, streets, drainage and so forth.

44. The applicant will be requested to pick up a checkprint of the site plan at the Franklin Planning Department and make the necessary corrections identified by the planning department, the city engineer and the department superintendents. **ENGINEERING AND PLANNING CHECKPRINTS MUST BE RETURNED TO THE PLANNING DEPARTMENT.**

The deadline for corrected prints is often called the "2nd Submittal" or "re-submittal" deadline.

45. A total of twenty-four (24) corrected blue or black line prints of the site plan shall be delivered to the planning department by **Tuesday, at 5:00 P.M. seventeen (17) days prior** to the planning commission meeting at which the item will be heard. Of these prints, nine (9) sets shall be full size and fifteen (15) sets shall be reduced, such as 11"x17". PRIOR TO SUBMITTAL, THE APPLICANT SHALL FOLD EACH PRINT AS STATED IN NUMBER 51 ABOVE.

46. After the site plan and the performance bond amounts have been approved, the applicant shall contact Paula Kortas, (Direct line: 591-5631), Franklin Planning Department, for assistance in preparing the necessary performance bonds required by the city.

47. Once the necessary performance bonds have been posted with the city, and once any other conditions placed on the site plan have been complied with, then a building permit may be issued by the codes department.

48. The Planning Department performs landscaping inspections for the purpose of reducing or releasing performance bonds per the schedule shown below, which is designed to encourage planting only during months considered desirable by the planning staff. Applicants are discouraged from planting new or replacement materials during months when planting is not conducive; however, if an applicant chooses to plant landscaping material during the "off" months, then he does so with the full knowledge that no action will be taken on the performance bond by the planning commission during those timeframes. After the landscaping has been planted, the applicant should request, in writing, that the planning department inspect the landscaping for the purpose of either reducing the performance bond or releasing the performance bond and establishing a one-year maintenance bond.

Landscape Inspections	
FMPC Meeting	Approximate Landscape Inspection Dates by Staff
January	Mid December
February	None
March	None
April	Late March to the beginning of April
May	Late April to the beginning of May
June	Late May to the beginning of June
July	None
August	None
September	None
October	Late September to the beginning of October
November	Late October to the beginning of November
December	None- No regular meeting in December